

# *Hidden Valley Property Inspection*

## Property Inspection Report



1776 E. Constitution Avenue, Anytown, UT 84321  
Inspection prepared for: Joe & Jane Homebuyer  
Date of Inspection: 11/10/2017 Time: 8:50 am  
Age of Home: Built 2016 Size: 6,580sq ft. (not verified - public record)  
Weather: 38 degrees, clear

Inspector: Jon Brigance  
Certified Master Inspector - NACHI #09042703  
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At your request and on your behalf, we performed an inspection of the property listed herein this inspection report. Hidden Valley Property Inspection, LLC, is pleased to submit the enclosed report. This report is a professional opinion based on a visual examination of the accessible components of the home. This report is not an exhaustive technical evaluation. An evaluation of this nature would cost many times more.

Please understand there are limitations to this inspection. Occasionally, there are components of the home that are not completed and/or are not visible during the inspection. Typically, very little historical information is provided to us in advance of the inspection. While we can reduce your risk in purchasing a home, we cannot eliminate it, nor can we assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in the report, we recommend you budget for unexpected repairs. On average, we have found that setting aside roughly one percent of the value of the home on an annual basis is sufficient to cover unexpected repairs.

The Standards of Practice and Code of Ethics of the National Association of Certified Home Inspectors (NACHI), prohibit us from making any repairs or otherwise gaining financially from the findings from the inspection. We are not associated with any other party to the transaction of this property, except as may be disclosed to you. The information provided in this report is solely for your use. Hidden Valley Property Inspection, LLC will not release a copy of this report without your consent.

Thank you for selecting us, we appreciate the opportunity to be of service. Should you have any questions about the general condition or operation of the house in the future, we would be happy to answer these. There is no fee for telephone consulting. If you receive an email from [Genbook](#), our appointment booking system, would you please take a moment to review the services and staff. Reviews are also graciously encouraged on [Zillow](#), [Yelp](#), and [Google Maps](#). Online reviews and referrals are the highest compliment we could receive. Simply click the bold hyperlinks to leave your feedback.

Download your FREE copy of: [The Safe Home Book](#).

Most Sincerely,

Jon M. Brigance, Owner &  
Certified Master Inspector

## Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Interior Areas		
Page 7 Item: 8	Ceiling Condition	<ul style="list-style-type: none"> <li>• Ceiling cracks observed at sheetrock seams, new construction settling.</li> </ul>
Page 11 Item: 13	Window Condition	<ul style="list-style-type: none"> <li>• Numerous areas where glass is etched/scratched on outside of large south windows.</li> </ul>
Bathroom		
Page 20 Item: 16	Bath Tubs	<ul style="list-style-type: none"> <li>• Master bath Stopper and vent is loose/inoperable.</li> </ul>
Garage		
Page 39 Item: 2	Walls	<ul style="list-style-type: none"> <li>• Minor damage to corner bead in garage. Does not appear to have been fully skim coated due to bent lower section.</li> </ul>
Roof		
Page 44 Item: 1	Roof Condition	<ul style="list-style-type: none"> <li>• Construction debris on roof areas, mortar from siding installation, trimmings from roofers. This debris can get into gutters and obstruct water flow to downspouts.</li> <li>• Consider improving north facing eaves with heat cord to minimize ice buildup.</li> </ul>
Page 45 Item: 5	Gutter	<ul style="list-style-type: none"> <li>• Partial gutters - Upper eaves. North facing. These areas will be prone to ice buildup as no sunlight will hit this area. Full installation recommended to keep water away from upper siding structure. Upper eaves in line with lower eaves. Water runoff to driveway will be problematic in future. Water can weaken the foundation and deteriorate the siding and be very dangerous on areas of north facing driveways that do not get direct sunlight. Be sure to install splash blocks or extensions to carry water away, and keep water from areas such as driveways or walks where it can be an ice hazard in winter.</li> <li>• Downspouts pulling away from the house at SE rear; re-secure as needed.</li> </ul>
Exterior Areas		
Page 49 Item: 3	Siding Condition	<ul style="list-style-type: none"> <li>• Defective section of hardi-board siding on SW corner by master patio.</li> <li>• Several loose stones on siding. Gaps visible between all stones. Mortar in between helps keep stones in place. These are stuck on only. Water can get behind the stone and loosen them. This type of exterior should be further evaluated as needed by stone siding specialist to verify this was done per manufacturers standards. Unable to verify type of wrap/waterproofing. Several stones deteriorating after short period of time.</li> <li>• Several deteriorated stones on siding and mailbox. Eroding in place.</li> </ul>

Page 51 Item: 4	Eaves & Facia	<ul style="list-style-type: none"> <li>• Loose section of soffit observed on South side, has fallen down into window well. Monitor all south areas periodically after strong south winds for any further sections that may become loose.</li> </ul>
Page 51 Item: 6	Window Well Condition	<ul style="list-style-type: none"> <li>• Clean out window wells, debris and leaves near lip of cement foundation can prevent water from properly draining and divert water towards windows and foundation.</li> </ul>
Grounds		
Page 54 Item: 1	Driveway and Walkway Condition	<ul style="list-style-type: none"> <li>• Cracking/Chipped areas observed at the concrete surfaces. Further deterioration will occur as water expands and contracts from freeze and thaw cycles. Recommend sealing the cracks to prolong the life of the concrete.</li> <li>• Surface staining observed, rust colorations.</li> <li>• Residual cement droppings noted on some slabs.</li> </ul>
Page 55 Item: 2	Grading	<ul style="list-style-type: none"> <li>• Keep bark away from composite siding to minimize moisture damage and pest issues.</li> </ul>
Page 57 Item: 8	Grounds Electrical	<ul style="list-style-type: none"> <li>• Junction box cover missing in patio kitchen area, no visible flashing or water sealant along end of counter top, water can run down siding and into electrical j-box. Add exterior grade cover as needed.</li> </ul>
Page 59 Item: 15	Patio Kitchen	<ul style="list-style-type: none"> <li>• Cement counter top stain/paint is peeling from surface.</li> </ul>
Page 60 Item: 17	Patio and Porch Condition	<ul style="list-style-type: none"> <li>• Evidence of past gutter leaks observed on East side of porch roof areas. Only one downspout on far west side, may not be enough slope to get all runoff to that downspout. Have roofer or gutter installer evaluate <b>drip edge</b> and flashing further. Consider adding an additional downspout in a way that won't direct water into walk out basement areas. Similar to way the one on west side was done with buried extention. Should have been done in first place.</li> </ul>

# Inspection Details

## 1. Attendance

In Attendance: Owner/Client present • Owner's Attorney present • Fully Participated

## 2. Home Type

Home Type: Single Family Home • Multi Level Style

## 3. Occupancy

Occupancy: Occupied - Furnished • The GAS, WATER and ELECTRIC utilities were ON at the time of inspection. • Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

### Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

#### 1. Bar/Basement Kitchen

Good	Fair	Poor	Needs Serv.	N/A
X				



#### 2. Cabinets

Good	Fair	Poor	Needs Serv.	N/A
X				

### 3. Ceiling Fans

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Operated normally when tested, at time of inspection.

### 4. Closets

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- The closet is in serviceable condition.



### 5. Door Bell

Good	Fair	Poor	Needs Serv.	N/A
X				

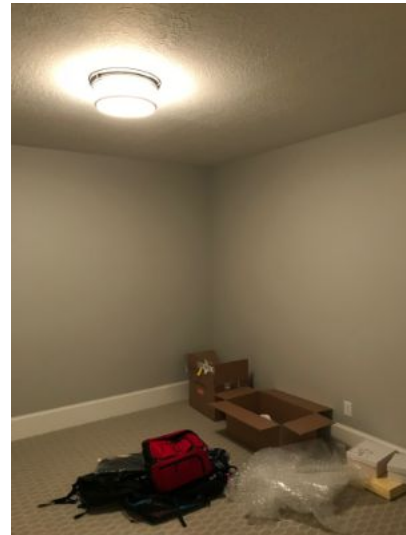
### 6. Doors

Good	Fair	Poor	Needs Serv.	N/A
X				

### 7. Wall Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Drywall walls noted.



### 8. Ceiling Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: There are drywall ceilings noted.

Observations:

- Ceiling cracks observed at sheetrock seams, new construction settling.





Ceiling cracks observed at sheetrock seams, new construction settling.



Ceiling cracks observed at sheetrock seams, new construction settling.



Ceiling cracks observed at sheetrock seams, new construction settling.

**9. Electrical**

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- A low voltage speaker system is installed. As per our Inspection Agreement, these systems are beyond the scope of this report and were not inspected.
- A low voltage alarm system is installed. As per our Inspection Agreement, this system is beyond the scope of this report and was not inspected.

**10. Floor Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Carpet noted
- Hardwood noted.
- Tile noted.



11. Smoke Detectors

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

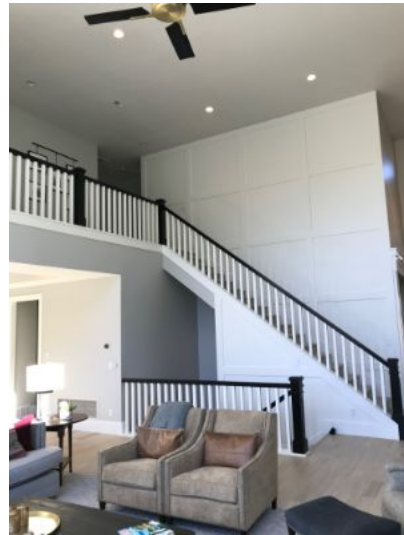
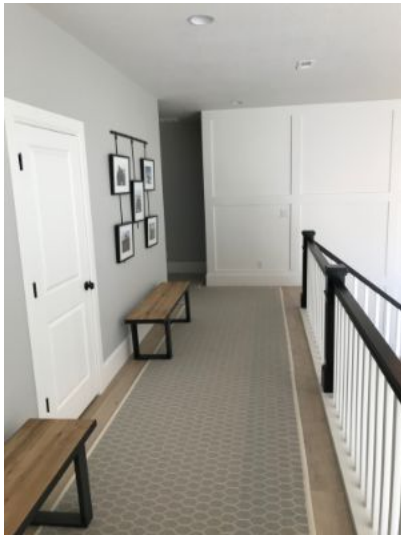
- **\*\*SMOKE DETECTORS\*\***
- Operated when tested
- **MAINTENANCE:** Periodic testing and changing batteries yearly to ensure proper Smoke Alarm operation is required.
- **\*\*CARBON MONOXIDE DETECTORS\*\***
- **SAFETY INFO:** Carbon Monoxide (CO) is a lethal gas--invisible, tasteless, odorless--produced in normal amounts whenever you use an appliance which burns a combustible fuel--gas, oil, kerosene, charcoal, and wood. When proper ventilation becomes blocked or inadequate, CO concentrations build up inside your home and become deadly.
- Combo Smoke/CO detector operated when tested.



### 12. Stairs & Handrail

Good Fair Poor Needs N/A  
Serv.

X				
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13. Window Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Vinyl framed casement window noted.

Observations:

- Numerous areas where glass is etched/scratched on outside of large south windows.



Numerous areas where glass is etched/scratched on outside of large south windows.



14. Patio Doors

Good	Fair	Poor	Needs Serv.	N/A
X				

15. Screen Doors

Good	Fair	Poor	Needs Serv.	N/A
				X

### 16. Fireplace

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Family Room

Materials: Decorative gas fireplace insert noted.

Observations:

- **\*\*Gas Fireplaces\*\***
- Gas insert, enclosure was functional.



### Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

#### 1. Locations

Locations: (1) Main floor • (2) Basement • (3) Upstairs

#### 2. Ceiling Fans

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • Operated normally when tested, at time of inspection.

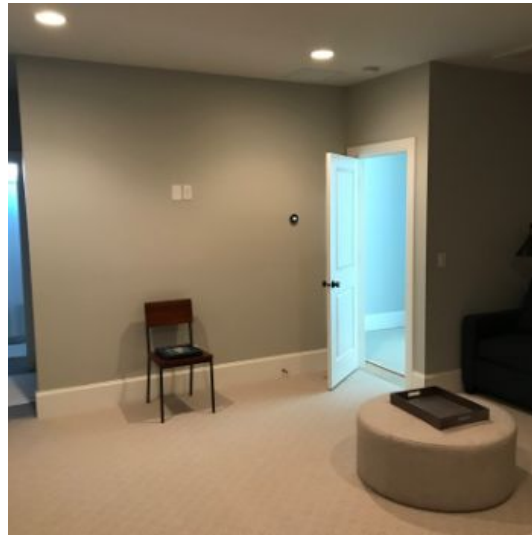
#### 3. Closets

Good	Fair	Poor	Needs Serv.	N/A
X				



#### 4. Doors

Good	Fair	Poor	Needs Serv.	N/A
X				



**5. Electrical**

Good	Fair	Poor	Needs Serv.	N/A
X				

**6. Floor Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Flooring Types: Carpet is noted. • Hardwood flooring is noted.



**7. Smoke Detectors**

Good	Fair	Poor	Needs Serv.	N/A
X				

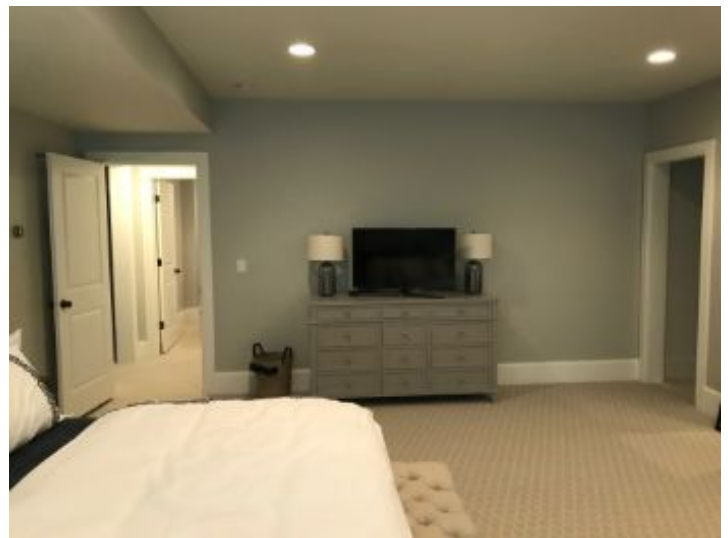
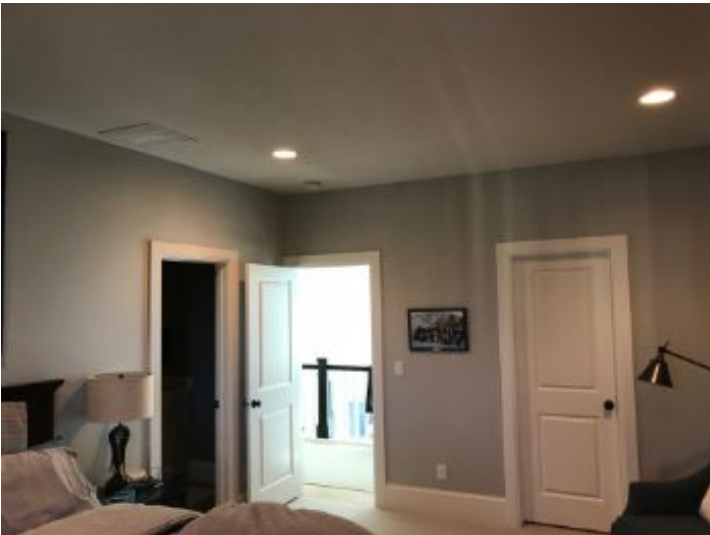
**Observations:**

- **\*\*Smoke Detectors\*\***
- The smoke detectors operated during the inspection.

**8. Wall Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Drywall walls noted.



9. Window Condition

Good	Fair	Poor	Needs Serv.	N/A
X				





### 10. Ceiling Condition

Good Fair Poor Needs Serv. N/A

Materials: There are drywall ceilings noted.

X				
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### 11. Patio Doors

Good Fair Poor Needs Serv. N/A

X				
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### 12. Screen Doors

Good Fair Poor Needs Serv. N/A

X				
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### Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

#### 1. Locations

Locations: Upstairs Jack & Jill Bathroom • Main floor Master bathroom • Main Floor kitchen Bathroom • Basement Jack & Jill Bathroom • Basement hall bathroom • Upstairs Master

#### 2. Floor Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Ceramic tile is noted.



#### 3. Ceiling Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: There are drywall ceilings noted.

#### 4. Wall Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

#### 5. Doors

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

#### 6. Counters

Good	Fair	Poor	Needs Serv.	N/A
X				



7. Cabinets

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- No deficiencies observed.



8. Electrical

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

9. GFCI

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- **GFCI** in place and operational.



**10. Exhaust Fan**

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- The bath fans operated and no issues were found.
- Clean/vacuum vent fan covers occasionally to prevent dust buildup and reduced airflow and overheating.

**11. Heating**

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Central heating and cooling noted. At the time of the inspection, all appeared to be functioning and in serviceable condition.

**12. Mirrors**

Good	Fair	Poor	Needs Serv.	N/A
X				



**13. Plumbing**

Good	Fair	Poor	Needs Serv.	N/A
X				

### 14. Showers

Good	Fair	Poor	Needs Serv.	N/A
X				

### 15. Shower Walls

Good	Fair	Poor	Needs Serv.	N/A
X				



### 16. Bath Tubs

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Master bath Stopper and vent is loose/inoperable.



Master bath Stopper and vent is loose/inoperable.



### 17. Enclosure

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- The shower enclosure was functional at the time of the inspection.



### 18. Sinks

Good	Fair	Poor	Needs Serv.	N/A
X				



19. Toilets

Good	Fair	Poor	Needs Serv.	N/A
X				

20. Window Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

### Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

#### 1. Cabinets

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
• No deficiencies observed.







### 2. Counters

Good	Fair	Poor	Needs Serv.	N/A
X				



### 3. Dishwasher

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
• Operated



#### 4. Doors

Good	Fair	Poor	Needs Serv.	N/A
X				



#### 5. Garbage Disposal

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Operated - appeared functional at time of inspection.



**6. Microwave**

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

**7. Cook top condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- All heating elements operated when tested.
- Gas cook top noted.

**8. Oven & Range**

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Oven: gas burners



**9. Gas Shutoff Valve Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

### 10. Refrigerator Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Refrigerator was on and functional time of inspection.
- Most refrigerator water systems have filters that need to be changed annually. The filter was not checked at time of inspection as it is outside the scope of the inspection.



### 11. Sinks

Good	Fair	Poor	Needs Serv.	N/A
X				

### 12. Drinking Fountain

Good	Fair	Poor	Needs Serv.	N/A
				X

### 13. Spray Wand

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- The spray wand was operated and was functional.

### 14. Vent Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Exterior Vented



**15. Floor Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Hardwood flooring is noted.

**16. Plumbing**

Good	Fair	Poor	Needs Serv.	N/A
X				



**17. Ceiling Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: There are drywall ceilings noted.

**18. Patio Doors**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- The sliding patio door was functional during the inspection.

19. Screen Doors

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • Sliding door screen is functional.

20. Electrical

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • No major system safety or function concerns noted at time of inspection.



21. GFCI

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • GFCI in place and operational.

22. Wall Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Drywall walls noted.



Laundry

1. Locations

Locations: Main floor

2. Cabinets

Good	Fair	Poor	Needs Serv.	N/A
X				



3. Counters

Good	Fair	Poor	Needs Serv.	N/A
X				

4. Dryer Vent

Good	Fair	Poor	Needs Serv.	N/A
X				

5. Electrical

Good	Fair	Poor	Needs Serv.	N/A
X				

6. GFCI

Good	Fair	Poor	Needs Serv.	N/A
X				

7. Exhaust Fan

Good	Fair	Poor	Needs Serv.	N/A
				X

### 8. Gas Valves

Good	Fair	Poor	Needs Serv.	N/A
				X

Observations:

- Gas line should be capped when not in use, shutoff should not be relied upon only. The valve can get bumped and leaks occur. Qualified tradesperson cap the gas line as needed.

### 9. Wash Basin

Good	Fair	Poor	Needs Serv.	N/A
				X

### 10. Window Condition

Good	Fair	Poor	Needs Serv.	N/A
				X

### 11. Floor Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Ceramic tile is noted.

### 12. Plumbing

Good	Fair	Poor	Needs Serv.	N/A
X				

### 13. Wall Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Drywall walls noted.

### 14. Ceiling Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: There are drywall ceilings noted.

### 15. Security Bars

Good	Fair	Poor	Needs Serv.	N/A
				X

### 16. Doors

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- No major system safety or function concerns noted at time of inspection.



### Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

#### 1. Heater Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Location: • The main floor and basement furnace is located in the basement in 2 separate utility rooms. • The upstairs furnace is located in the upstairs hall utility closet  
 Materials: Gas fired forced hot air



#### 2. Heater Base

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • The heater base appears to be functional.



### 3. Enclosure

Good	Fair	Poor	Needs Serv.	N/A
X				



### 4. Venting

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- **\*\*VENTING MATERIALS\*\***
- Plastic - **PVC** vent noted.
- **\*\*VENTING OBSERVATIONS\*\***
- The visible portions of the vent pipes appeared functional.



**5. Gas Valves**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Gas shut off valves were present and functional.
- Sediment trap noted.

**6. Refrigerant Lines**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- No defects found.



**7. AC Compress Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Compressor Type: electric

Location: The 3 compressor is located on the exterior grounds.

Observations:

- Appeared functional at the time of inspection.



**8. Condensation Drain Condition**

Good Fair Poor Needs Serv. N/A

X				
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**9. Fresh Air Supply**

Good Fair Poor Needs Serv. N/A

X				
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**10. Adequate Registers & Ducting**

Good Fair Poor Needs Serv. N/A

X				
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**11. Filters**

Good Fair Poor Needs Serv. N/A

	X			
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Location: Located next to heater in a slot cut into the ductwork.

- Observations:
- 20x20x1"
  - 20x25x1"



### 12. Thermostats

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- Digital - learning/programmable NEST type.
- Functional at the time of inspection.
- Thermostats are not checked for calibration or timed functions.

### Water Heater

#### 1. Base

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • The water heater base is functional.

#### 2. Heater Enclosure

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • The water heater enclosure is functional.

#### 3. Combusion

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • The combustion chamber appears to in functional condition.

#### 4. Venting

Good	Fair	Poor	Needs Serv.	N/A
X				

#### 5. Water Heater Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Heater Type: gas  
 Location: The heater is located in the basement.



#### 6. TPRV

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • A Temperature Pressure Relief Valve (**TPR Valve**) present. This safety valve releases water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. The TPR valve discharge tube must be made of copper, iron, or CPVC (NOT regular PVC). It must terminate within 6" above the floor--the end cannot be threaded or have a fitting.

#### 7. Number Of Gallons

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • (2) 50 gallons

### 8. Gas Valve

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
• functional

### 9. Plumbing

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Aquapex  
Observations:  
• No deficiencies observed at the visible portions of the supply piping.

### 10. Overflow Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

### 11. Seismic Strapping Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Garage

1. Roof Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Roofing is the same as main structure.

Materials: Asphalt shingles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.

2. Walls

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Minor damage to corner bead in garage. Does not appear to have been fully skim coated due to bent lower section.



Minor damage to corner bead in garage. Does not appear to have been fully skim coated due to bent lower section.

3. Anchor Bolts

Good	Fair	Poor	Needs Serv.	N/A
				X

Observations:

- The anchor bolts were not visible, obscured by drywall.

4. Floor Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Coated/painted concrete floors noted.





**5. Rafters & Ceiling**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Visible areas appear satisfactory, at time of inspection.

**6. Electrical**

Good	Fair	Poor	Needs Serv.	N/A
X				

**7. GFCI**

Good	Fair	Poor	Needs Serv.	N/A
X				

**8. 240 Volt**

Good	Fair	Poor	Needs Serv.	N/A
				X

**9. Exterior Door**

Good	Fair	Poor	Needs Serv.	N/A
X				

**10. Fire Door**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Appeared satisfactory and functional, at time of inspection.

**11. Garage Door Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Steel, insulated, sectional doors noted.

Observations:

- No deficiencies observed.

**12. Garage Door Parts**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- The garage door appeared functional during the inspection.

**13. Garage Opener Status**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Chain drive opener noted.



**14. Garage Door's Reverse Status**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Eye beam system present and operating.

**15. Ventilation**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Ridge exhaust venting noted.
- Under eave soffit inlet vents noted.

**16. Vent Screens**

Good	Fair	Poor	Needs Serv.	N/A
				X

**17. Window Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Electrical

1. Electrical Panel

Good	Fair	Poor	Needs Serv.	N/A
X				

Location: Main Location: • East side of the house.  
 Location: Sub Panel Location: • Located in the basement.  
 Observations:

- No major system safety or function concerns noted at time of inspection at main panel box.



2. Main Amp Breaker

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • 150 amp

3. Breakers in off position

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • 0

4. Cable Feeds

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • There is an underground service lateral noted.

5. Breakers

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Copper non-metallic sheathed cable noted.  
 Observations:  
 • All of the circuit breakers appeared serviceable.



6. Cable/Satellite/Internet Panel Condition

Good Fair Poor Needs N/A  
Serv.

X				
---	--	--	--	--



Roof

1. Roof Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Observed from the ground with 8X56 field glasses.  
 Materials: Asphalt shingles noted. • Metal standing seam roofing noted.  
 Observations:

- Construction debris on roof areas, mortar from siding installation, trimmings from roofers. This debris can get into gutters and obstruct water flow to downspouts.
- Consider improving north facing eaves with heat cord to minimize ice buildup.



2. Flashing

Good	Fair	Poor	Needs Serv.	N/A
X				

3. Chimney

Good	Fair	Poor	Needs Serv.	N/A
X				

4. Vent Caps

Good	Fair	Poor	Needs Serv.	N/A
X				

5. Gutter

Good	Fair	Poor	Needs Serv.	N/A
	X			

Observations:

- Partial gutters - Upper eaves. North facing. These areas will be prone to ice buildup as no sunlight will hit this area. Full installation recommended to keep water away from upper siding structure. Upper eaves in line with lower eaves. Water runoff to driveway will be problematic in future. Water can weaken the foundation and deteriorate the siding and be very dangerous on areas of north facing driveways that do not get direct sunlight. Be sure to install splash blocks or extensions to carry water away, and keep water from areas such as driveways or walks where it can be an ice hazard in winter.
- Downspouts pulling away from the house at SE rear; re-secure as needed.



Partial gutters - Upper eaves. North facing. These areas will be prone to ice buildup as no sunlight will hit this area. Full installation recommended to keep water away from upper siding structure. Upper eaves in line with lower eaves. Water runoff to driveway will be problematic in future. Water can weaken the foundation and deteriorate the siding and be very dangerous on areas of north facing driveways that do not get direct sunlight. Be sure to install splash blocks or extensions to carry water away, and keep water from areas such as driveways or walks where it can be an ice hazard in winter.

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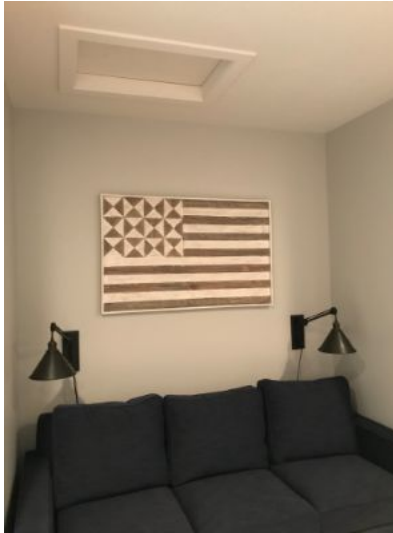
Attic

1. Access

Good	Fair	Poor	Needs Serv.	N/A
X				

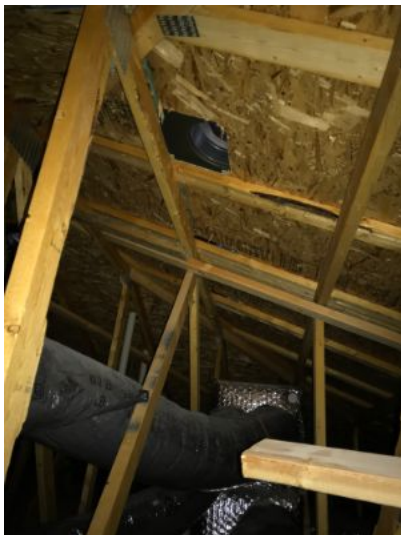
Observations:

- **\*\*Location of access\*\***
- Bedroom Closet
- **\*\*Access Observations\*\***
- Functional



2. Structure

Good	Fair	Poor	Needs Serv.	N/A
X				



3. Ventilation

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Ridge exhaust venting noted.
- Under eave soffit inlet vents noted.

### 4. Vent Screens

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • Vent screens noted as functional.

### 5. Duct Work

Good	Fair	Poor	Needs Serv.	N/A
				X



### 6. Electrical

Good	Fair	Poor	Needs Serv.	N/A
				X

Observations:  
 • Most not accessible due to insulation.

### 7. Attic Plumbing

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • ABS plumbing vents

### 8. Insulation Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Loose fill insulation noted.  
 Depth: Insulation averages about 16-18 inches in depth. R-38.  
 Observations:  
 • Insulation appears adequate for this region of the country.





### 9. Chimney

Good	Fair	Poor	Needs Serv.	N/A
				X

### 10. Exhaust Vent

Good	Fair	Poor	Needs Serv.	N/A
				X

Exterior Areas

1. Doors

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Appeared in functional and in satisfactory condition, at time of inspection.

2. Window Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Components appeared in satisfactory condition at time of inspection.
- No major system safety or function concerns noted at time of inspection.
- Suggest caulking around doors and windows as necessary. Over time the sealant will dry rot and/or shrink allowing for moisture intrusion.



3. Siding Condition

Good	Fair	Poor	Needs Serv.	N/A
	X			

Materials: Composition wood or composition cement siding ("Hardi-Board" etc.), wood frame construction, concrete foundation

Observations:

- No major system safety or function concerns noted at time of inspection.
- Caulk and seal all gaps, cracks and openings as part of routine yearly maintenance.
- Defective section of hardi-board siding on SW corner by master patio.
- Several loose stones on siding. Gaps visible between all stones. Mortar in between helps keep stones in place. These are stuck on only. Water can get behind the stone and loosen them. This type of exterior should be further evaluated as needed by stone siding specialist to verify this was done per manufacturers standards. Unable to verify type of wrap/waterproofing. Several stones deteriorating after short period of time.
- Several deteriorated stones on siding and mailbox. Eroding in place.



Several loose stones on siding.



Caulk and seal all gaps, cracks and openings as part of routine yearly maintenance.



Several loose stones on siding.



Several deteriorated stones on siding and mailbox. Eroding in place.



Several deteriorated stones on siding and mailbox. Eroding in place.



Defective section of hardi-board siding on SW corner by master patio.

### 4. Eaves & Facia

Good	Fair	Poor	Needs Serv.	N/A
X				

#### Observations:

• Loose section of soffit observed on South side, has fallen down into window well. Monitor all south areas periodically after strong south winds for any further sections that may become loose.



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### 5. Exterior Paint

Good	Fair	Poor	Needs Serv.	N/A
X				

### 6. Window Well Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

#### Observations:

• Clean out window wells, debris and leaves near lip of cement foundation can prevent water from properly draining and divert water towards windows and foundation.



Foundation

1. Slab Foundation

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • Common cracks noted.



Common cracks noted.

2. Foundation Perimeter

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • No deficiencies were observed at the visible portions of the structural components of the home.  
 • No leaks were observed at the time of the inspection.  
 • No stains or evidence of moisture penetration observed.  
 • Visible portions of foundation wall were dry at the time of the inspection.

3. Foundation Walls

Good	Fair	Poor	Needs Serv.	N/A
X				

4. Cripple Walls

Good	Fair	Poor	Needs Serv.	N/A
				X

5. Post and Girders

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:  
 • Support Material: Wood/Bearing Wall  
 • Beam Material: Wood  
 • No deficiencies were observed at the visible portions of the structural components of the home.

### 6. Sub Flooring

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- **\*\*DECKING\*\***
- OSB (Oriented Strand Board) sheathing sub floor
- **\*\*FRAMING\*\***
- Prefabricated Wood I-Joists
- Visible areas appear satisfactory at the time of inspection.
- No leaks were observed at the time of the inspection.

### 7. Anchor Bolts

Good	Fair	Poor	Needs Serv.	N/A
				X

**Observations:**

- The anchor bolts were not visible obscured by insulation.

### 8. Foundation Plumbing

Good	Fair	Poor	Needs Serv.	N/A
X				

**Observations:**

- **\*\*SUPPLY\*\***
- Aquapex
- **\*\*DRAIN, WASTE, VENT\*\***
- Acrylonitrile-Butadiene-Stryrene "ABS" waste and vent pipes noted.
- **\*\*OBSERVATIONS\*\***
- Appears Functional at time of inspection.
- See photo for main water shut off valve location.<FYI>Future reference in the event of an emergency.
- Inspection of all areas of the supply and drain pipes was not possible due to limited access/finished walls and ceilings to check for defects such as, but not limited to: leaks, corrosion, improper workmanship, and damage. All visible areas were found to be in good condition and no leaks observed.



Grounds

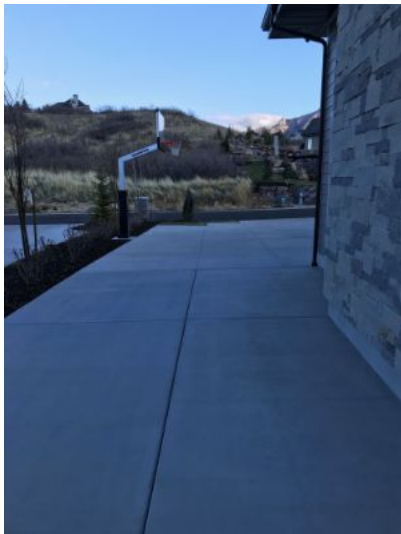
1. Driveway and Walkway Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: Concrete driveway noted. • Concrete sidewalk noted.

Observations:

- To avoid chemical damage from many common types of Ice Melt use the following guidelines; According to the American Concrete Institute (ACI), which is a leading United States concrete authority that sets many of the guidelines and standards that are used today in the designing, planning, construction and inspection of concrete structures, there are several chemicals, some of which are used in ice melter formulas that actually attack concrete, and are best avoided. They are: Aluminum Chloride, Ammonium Nitrate, Ammonium Sulfate, Ammonium Chloride, Calcium Sulfate, Magnesium Sulfate, Magnesium Chloride, Sodium Cyanide
- Damage to concrete is sometimes caused by the ice melter used but can also be caused by the effects of the freeze/thaw cycle. Your risk of damage can be reduced substantially by remembering these few points. Remove slush and broken ice. Use a good ice melter products - prevent chemical damage - extend freeze/thaw cycle. Try to prevent water build up on surface to reduce absorption. Ensure that concrete is of high quality construction to withstand your cold weather climate. Do not use ice melter on new, damaged, or unsealed concrete.
- Cracking/Chipped areas observed at the concrete surfaces. Further deterioration will occur as water expands and contracts from freeze and thaw cycles. Recommend sealing the cracks to prolong the life of the concrete.
- Surface staining observed, rust colorations.
- Residual cement droppings noted on some slabs.



Cracking/Chipped areas observed at the concrete surfaces. Further deterioration will occur as water expands and contracts from freeze and thaw cycles. Recommend sealing the cracks to prolong the life of the concrete.



### 2. Grading

Good	Fair	Poor	Needs Serv.	N/A
X				

#### Observations:

- No major system safety or function concerns noted at time of inspection.
- Lot grading and drainage have a significant impact on the building, simply because of the direct and indirect damage that moisture can have on the foundation. It is very important, therefore, that surface runoff water be adequately diverted away from the home. Lot grading should slope away and fall a minimum of one (1) inch every foot for a distance of six (6) feet around the perimeter of the building.
- The exterior drainage is generally away from foundation.
- While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector cannot always accurately predict this performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather. Inspection of foundation performance and water handling systems, therefore, is limited to visible conditions and evidence of past problems.
- **Keep bark away from composite siding to minimize moisture damage and pest issues.**



Keep bark away from composite siding to minimize moisture damage and pest issues.



### 3. Vegetation Observations

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

### 4. Gate Condition

Good	Fair	Poor	Needs Serv.	N/A
				X

Materials: Wood

### 5. Fence Condition

Good	Fair	Poor	Needs Serv.	N/A
				X

Materials: Wood

### 6. Patio and Porch Deck

Good	Fair	Poor	Needs Serv.	N/A
X				





7. Stairs & Handrail

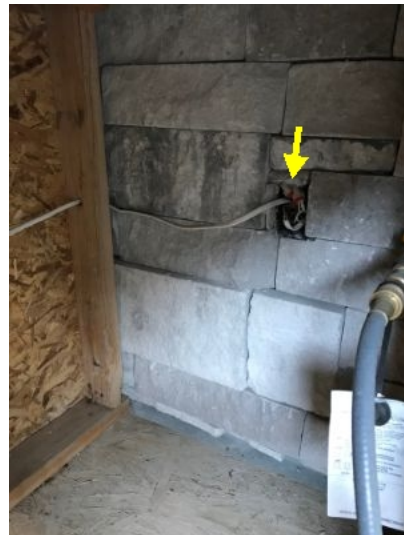
Good	Fair	Poor	Needs Serv.	N/A
X				

8. Grounds Electrical

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Junction box cover missing in patio kitchen area, no visible flashing or water sealant along end of counter top, water can run down siding and into electrical j-box. Add exterior grade cover as needed.



Junction box cover missing in patio kitchen area, no visible flashing or water sealant along end of counter top, water can run down siding and into electrical j-box. Add exterior grade cover as needed.



Junction box cover missing in patio kitchen area, no visible flashing or water sealant along end of counter top, water can run down siding and into electrical j-box. Add exterior grade cover as needed.

**9. GFCI**

Good	Fair	Poor	Needs Serv.	N/A
X				

**10. Main Gas Valve Condition**

Good	Fair	Poor	Needs Serv.	N/A
X				

Materials: east side

Observations:

- Meter located at exterior. All gas appliances have cut-off valves in line at each unit. No gas odors detected.
- It is a good idea to have an earthquake wrench handy in case of emergency, when gas needs to be shutoff quickly. These can be purchased from home improvement stores or online. The wrench is the proper size of the shutoff valve and can be attached with a zip tie on the meter.

**11. Plumbing**

Good	Fair	Poor	Needs Serv.	N/A
				X

Materials: Not visible to ID

Observations:

- Sewer line from house/structure to city sewer line — Over time, settling and liquefaction of the lot and soils can dislodge fittings. The age of home, plumbing materials used and any tree root systems in the lot can affect the sewer line. A sewer line inspection is suggested to ensure that no unknown issues that could be costly to correct are not present. This separate inspection will show the condition of the buried sewer line from the home to the city main. Items such as tree roots, broken drain pipes, and other obstructions will be revealed. A qualified plumber with a sewer camera rodding machine can inspect if you would like to know what the buried plumbing condition is.

**12. Water Pressure**

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- 60 psi



13. Pressure Regulator

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Pressure regulator noted in basement down line from the main water shutoff valve.

14. Exterior Faucet Condition

Good	Fair	Poor	Needs Serv.	N/A
X				

Location: North side of house. • South side of house.

Observations:

- Appears Functional.

15. Patio Kitchen

Good	Fair	Poor	Needs Serv.	N/A
	X			

Observations:

- Cement counter top stain/paint is peeling from surface.



Cement counter top stain/paint is peeling from surface.

16. Patio Enclosure

Good	Fair	Poor	Needs Serv.	N/A
				X



17. Patio and Porch Condition

Good	Fair	Poor	Needs Serv.	N/A
	X			

Materials: Asphalt shingles noted.

Observations:

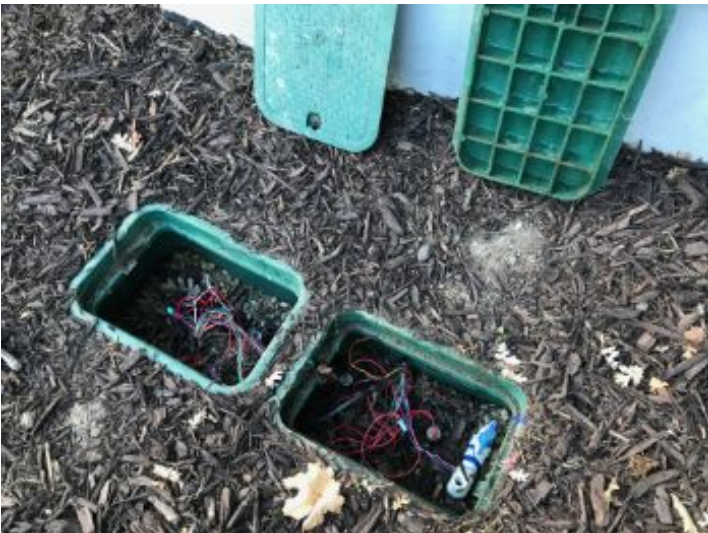
- Evidence of past gutter leaks observed on East side of porch roof areas. Only one downspout on far west side, may not be enough slope to get all runoff to that downspout. Have roofer or gutter installer evaluate **drip edge** and flashing further. Consider adding an additional downspout in a way that won't direct water into walk out basement areas. Similar to way the one on west side was done with buried extension. Should have been done in first place.

18. Sprinklers

Good	Fair	Poor	Needs Serv.	N/A
X				

Observations:

- Home is equipped with an underground sprinkler system. The inspector recommends client consult with home owner for operation instructions and proper winterizing information. Sprinkler systems are beyond the scope of a Home Inspection, due to most of its parts/piping not visible for inspection.
- The sprinkler system operates with a control panel located in the garage.





### Hot Tub

#### 1. Electrical

Good Fair Poor Needs N/A  
Serv.

X				
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#### 2. GFCI

Good Fair Poor Needs N/A  
Serv.

X				
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#### 3. Hot Tub Cover Condition

Good Fair Poor Needs N/A  
Serv.

X				
---	--	--	--	--

#### 4. Hot Tub Enclosure Condition

Good Fair Poor Needs N/A  
Serv.

X				
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# Water Softener

## 1. Water Softener Condition

Good Fair Poor Needs N/A  
Serv.

X				
---	--	--	--	--





# Radon Gas Mitigation System

## 1. Pipe Condition

Good	Fair	Poor	Needs Serv.	N/A
				X

## 2. Fan/Vacuum Condition

Good	Fair	Poor	Needs Serv.	N/A
				X

Residential Earthquake Hazards Report

Yes No N/A Don't Know  
    1. Is the water heater braced, strapped, or anchored to resist falling during an earthquake?

Yes No N/A Don't Know  
    2. Is the house anchored or bolted to the foundation?

Yes No N/A Don't Know  
    3. If the house has cripple walls:  
a. Are the exterior cripple walls braced?

Yes No N/A Don't Know  
    b. If the exterior foundation consists of unconnected concrete piers and posts, have they been strengthened?

Yes No N/A Don't Know  
    4. If the exterior foundation, or part of it, is made of unreinforced masonry, has it been strengthened?

Yes No N/A Don't Know  
    5. If the house is built on a hillside:  
a. Are the exterior tall foundation walls braced?

Yes No N/A Don't Know  
    b. Were the tall posts or columns either built to resist earthquakes or have they been strengthened?

Yes No N/A Don't Know  
    6. If the exterior walls of the house, or part of them, are made of unreinforced masonry, have they been strengthened?

Yes No N/A Don't Know  
    7. If the house has a living area over the garage, was the wall around the garage dooropening either built to resist earthquakes or has it been strengthened?

Yes No Don't Know  
   8. Is the house outside an Alquist-Priolo Earthquake Fault Zone (zones immediately surrounding known earthquake faults)?

Yes No Don't Know  
   9. Is the house outside a Seismic Hazard Zone (zone identified as susceptible to liquefaction or landsliding)?

EXECUTED BY:

\_\_\_\_\_  
(Seller) (Seller) Date

I acknowledge receipt of this form, completed and signed by the seller. I understand that if the seller has answered "No" to one or more questions, or if seller has indicated a lack of knowledge, there may be one or more earthquake weaknesses in this house.

\_\_\_\_\_  
(Buyer) (Buyer) Date

## Glossary

Term	Definition
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Drip Edge	Drip edge is a metal flashing applied to the edges of a roof deck before the roofing material is applied. The metal may be galvanized steel, aluminum (painted or not), copper and possibly others.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves